

DEVELOPMENT PLAN FOR
**HARWOOD FORUM
PHASE XII**

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REVISIONS:

1. November 1, 2019

PRELIMINARY ISSUES:

PROJECT ARCHITECT:

JEFF SMITH

ISSUE DATE:

06/06/2019

APPROVED BY:

TH

DRAWN BY:

LP / TH

DATE:

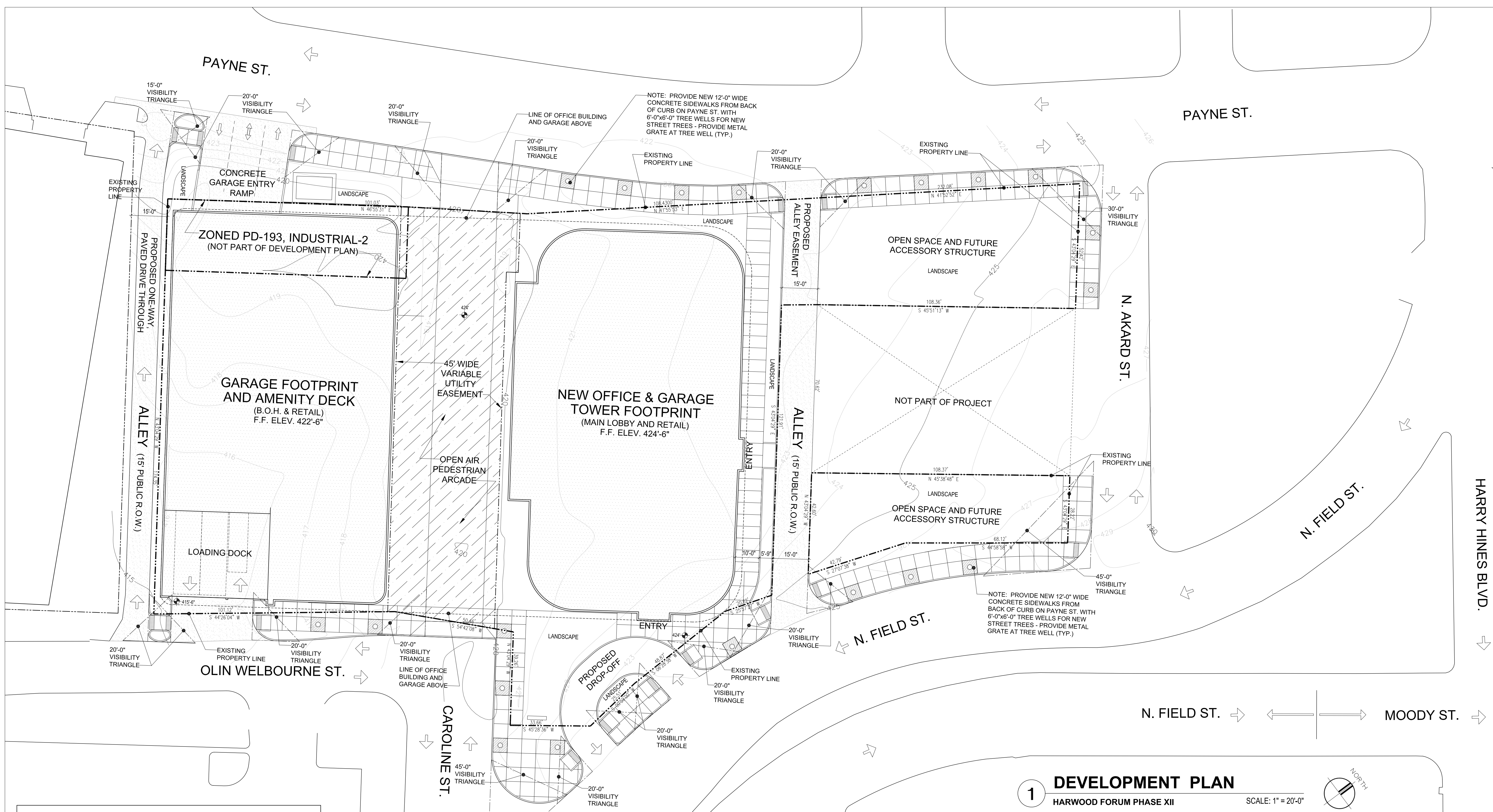
FEBRUARY 24, 2020

SHEET TITLE:

DEVELOPMENT PLAN

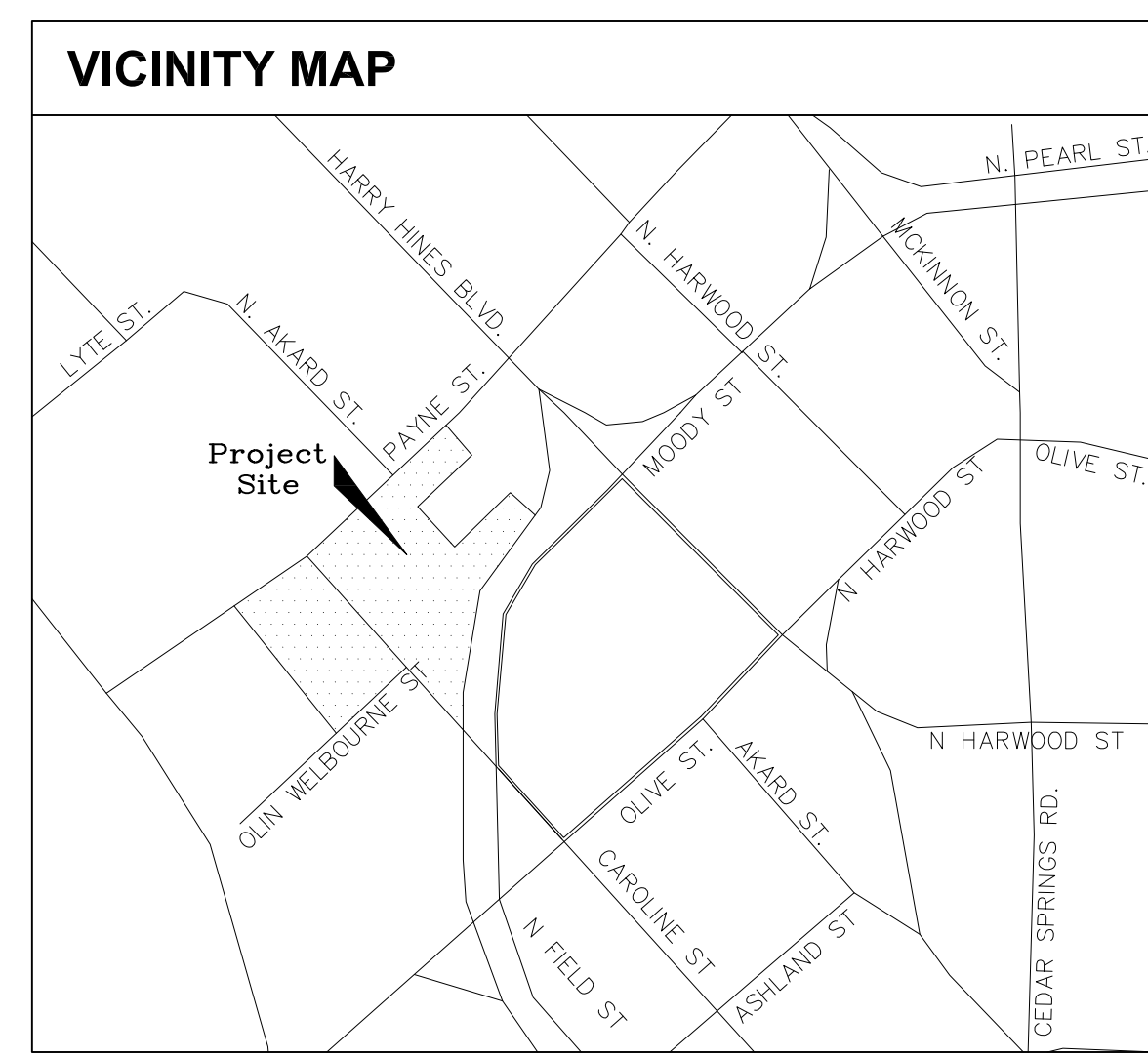
SHEET NO:

DP1.0



SITE DATA for Subarea I		
A	GROUND LEVEL ELEVATION	422 FEET A.M.S.L.
B	TOTAL LAND AREA	52,403 S.F.
C	MAXIMUM ALLOWED FLOOR AREA	500,000 S.F.
D	MAXIMUM ALLOWED STRUCTURE HEIGHT (PER FAA)	620 FEET
E	MAXIMUM ALLOWED LOT COVERAGE	NO MAXIMUM
F	DEVELOPED FLOOR AREA	489,979 S.F.
G	DEVELOPED STRUCTURE HEIGHT OF TOWER	610.0 FEET
	DEVELOPED STRUCTURE HEIGHT OF GARAGE	206.5 FEET
H	MINIMUM REQUIRED OPEN SPACE	7,900 S.F.
I	OPEN SPACE PROVIDED	12,076 S.F.
J	REQUIRED PARKING SPACES PER M.U.D. (ENTIRE SITE)	1,359 SPACES
K	PARKING PROVIDED ON SITE	1,360 SPACES
L	PARKING PROVIDED OFF SITE	0 SPACES
M	CUMMULATIVE FLOOR AREA	5,421,380 S.F.
N	TOTAL SUBDISTRICT DEVELOPED FLOOR AREA	1,697,035 S.F.
O	TOTAL SUBDISTRICT REMAINING TOTAL AREA	3,724,345 S.F.

SITE DATA for PD-193, I-2 (NOT PART OF DEVELOPMENT PLAN)		
B	TOTAL LAND AREA	3,007 S.F.
C	MAXIMUM ALLOWED FLOOR AREA	30,070 S.F.
D	MAXIMUM ALLOWED STRUCTURE HEIGHT (PER FAA)	620 FEET
E	MAXIMUM ALLOWED LOT COVERAGE	NO MAXIMUM
F	DEVELOPED FLOOR AREA	5,404 S.F.
G	DEVELOPED STRUCTURE HEIGHT OF TOWER	610.0 FEET
	DEVELOPED STRUCTURE HEIGHT OF GARAGE	206.5 FEET



1 DEVELOPMENT PLAN
HARWOOD FORUM PHASE XII SCALE: 1" = 20'-0"

PAVING LEGEND

	ENHANCED PAVING TO COMPLY WITH CODE AND ARTICLE X		TREE IN ON-GRADE TREE WELL
	CONCRETE SIDEWALK		

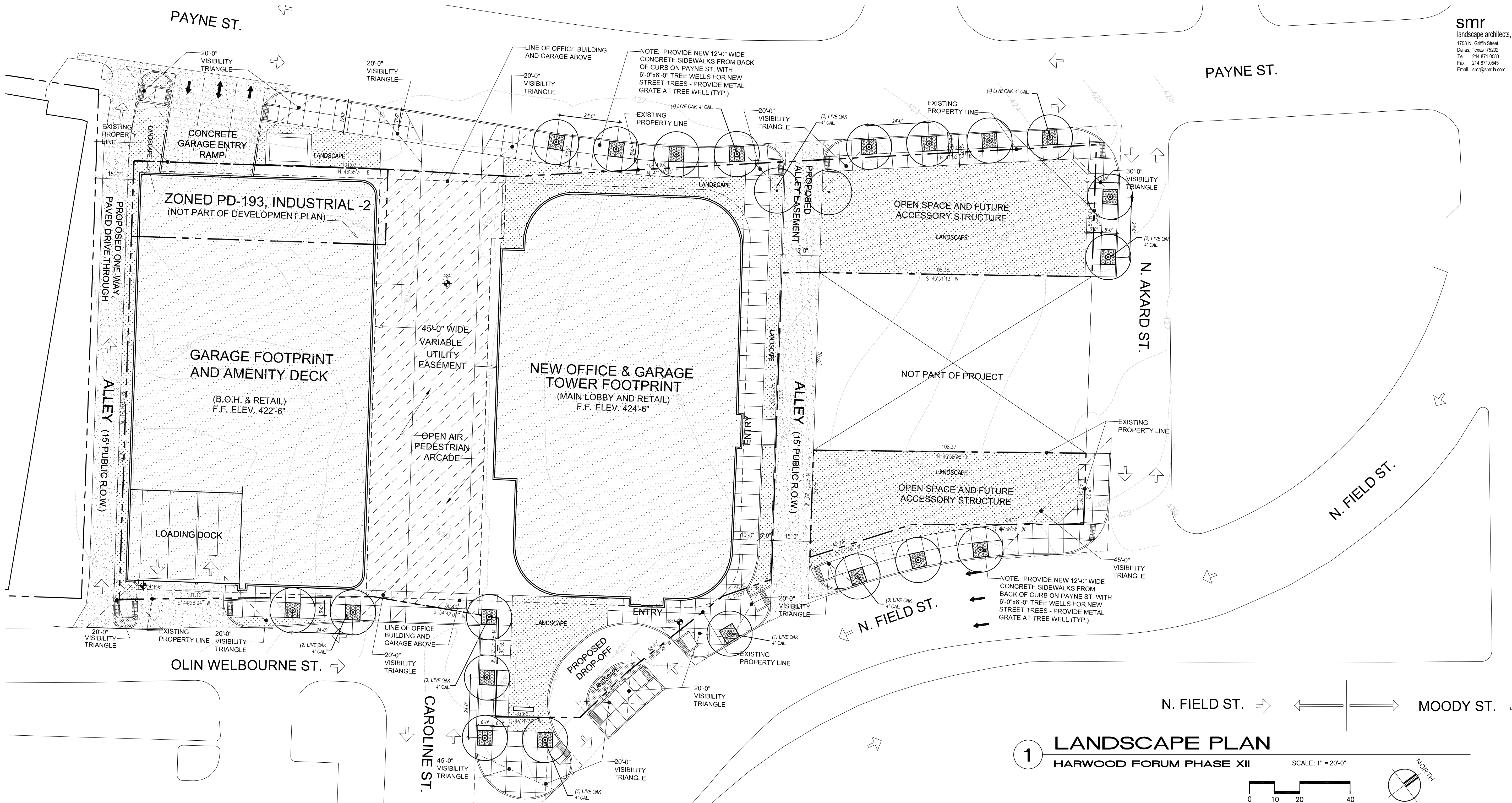
PROJECT INFORMATION

OWNER:
IC Development XII, Ltd.
2501 N. Harwood St., #1400
Dallas, Texas 75201

ALLOWABLE USES:
All Uses Allowable by LC (Light Commercial)
Minimum Front Yard Setback: None
Minimum Side Yard Setback: None
Minimum Rear Yard Setback: None
Maximum FAR: None

Planned Development District No. 193
PDS No. 79 Sub Area I
DEVELOPMENT PLAN

D 189-012



smr
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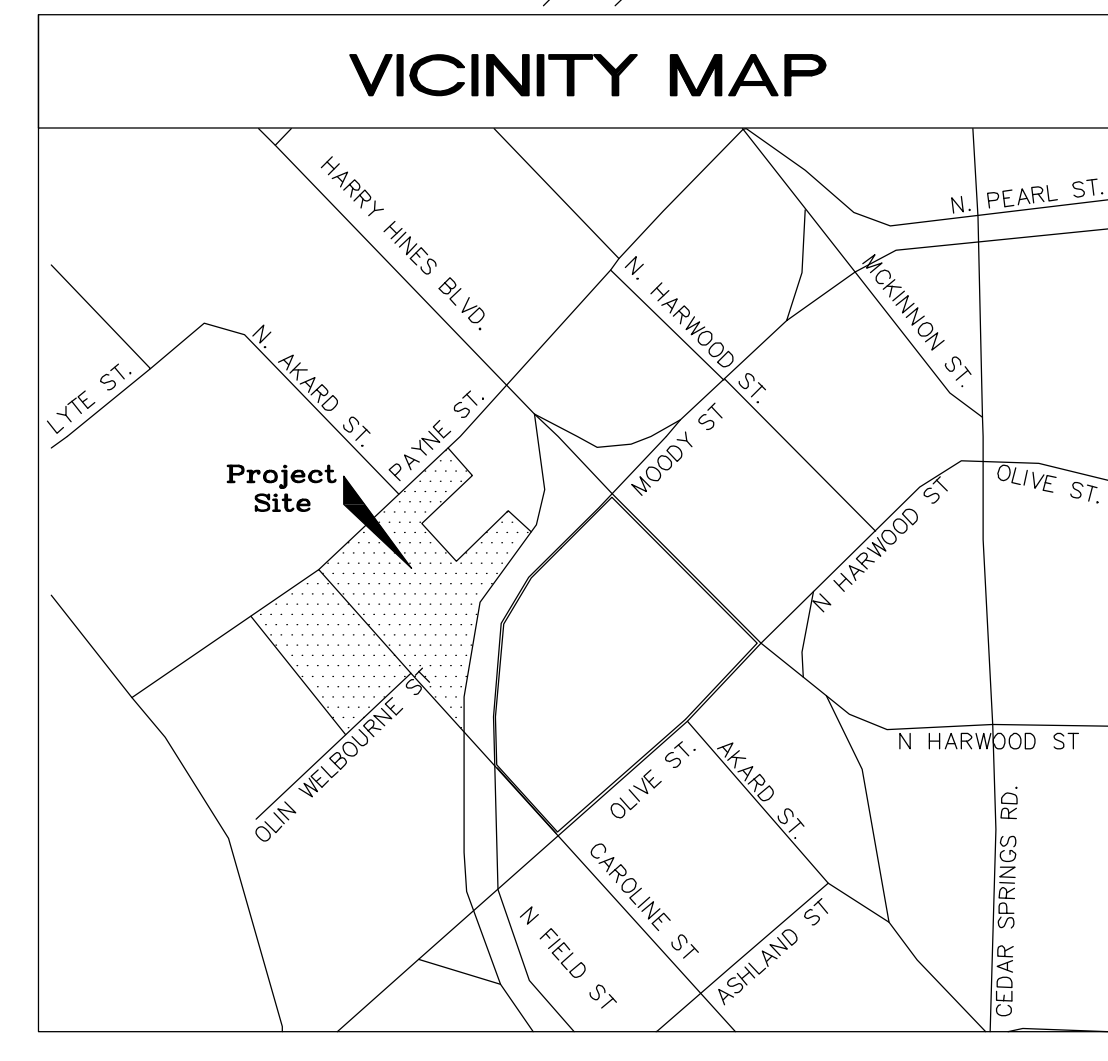
ARCHITECTURE
INTERIORS
PLANNING
DEVELOPMENT

HDF, LLC
2501 N. Harwood Street
Dallas, TX 75201
214-871-0871

LANDSCAPE PLAN FOR
**HARWOOD FORUM
PHASE XII**

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1 LANDSCAPE PLAN
HARWOOD FORUM PHASE XII
SCALE: 1" = 20'-0"
0 10 20 40



PLANT LEGEND:		LANDSCAPE TABS	
	LARGE CANOPY OR NON-CANOPY TREE, 4" CAL.	PO - 193 / PDS 79 / SUBAREA I	REQUIRED PROVIDED
	TREE GRATES	STREET TREES @ 11' (L.F.) (Total L.F.: 811 less 286' L.F. for visibility dips and drives) (1) tree 3.5' cal. per 25 L.F. (Total L.F. includes aggregate of all public ROW)	(22) trees (22) 4" cal. trees
	OPEN SPACE	Parking Lot Screening All off-street parking to be screened by 36" N. evergreen shrub Provided	
PROJECT INFORMATION		IRRIGATION SYSTEM The irrigation system shall provide water to maintain the plant materials in a healthy, growing condition at all times by the means of an automatic underground irrigation system. The system shall include a rain stat and freeze sensor and conform to new TECO standards. OFF STREET PARKING The site is designed to provide all parking on-site. Screening of surface parking is required. DUMPSTER No garbage or loading areas are located at the rear of the lot. All dumpster locations are screened with a masonry wall and landscaped or are in the parking structure under the building. PLANT MATERIAL SELECTIONS All plant material selections to be approved by City of Dallas Building Official.	
OWNER: IC Development XII, Ltd. 2501 N. Harwood St., #1400 Dallas, Texas 75201 ALLOWABLE USES: All Uses Allowable by LC (Light Commercial) Minimum Front Yard Setback: None Minimum Side Yard Setback: None Minimum Rear Yard Setback: None Maximum FAR: None		Planned Development District No. 193 PDS No. 79 Sub Area I LANDSCAPE PLAN TREE MITIGATION All tree mitigation (if any) shall be provided per Article X. PLANT MATERIAL LOCATIONS A maximum of (10) trees can be adjusted beyond locations shown on this plan in the event ex. or proposed utilities of any kind, transformer, or grade change cause such locations to be detrimental to the trees long term growth and welfare.	

**Planned Development District No. 193
PDS No. 79 Sub Area I
LANDSCAPE PLAN**

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